

BASEMENT PLAN

SCALE: 3/16" = 1'-0"

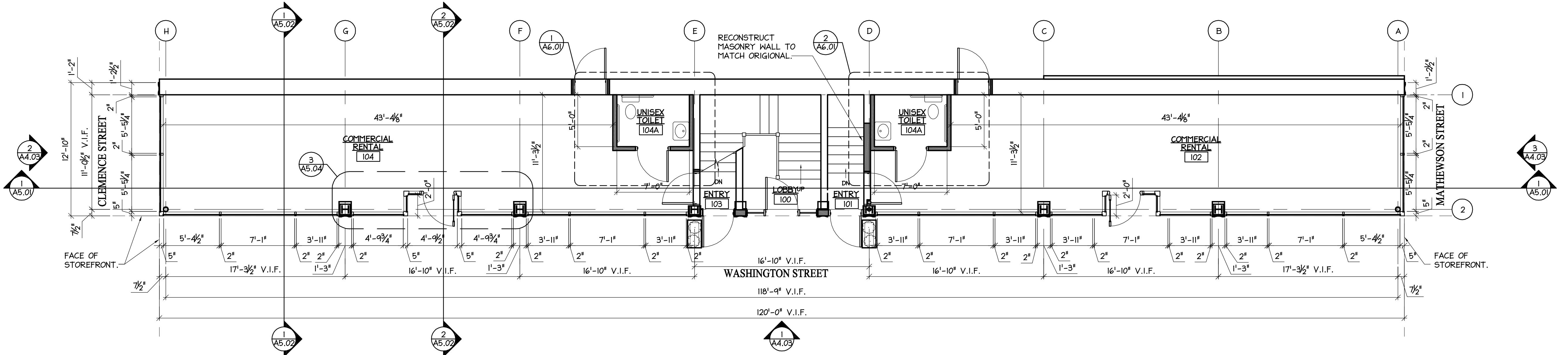
BASEMENT & FIRST FLOOR PLAN

GENERAL NOTES

SYMBOLS

- — — ITEM ABOVE OR BELOW
- — — EXISTING WALL TO REMAIN
- — — GWB & STUD PARTITION

1. ALL EXISTING PLASTER WALLS AND EXPOSED CONCRETE TO REMAIN, REPAIR AS NECESSARY TO RECEIVE NEW FINISH, FINISHES TO BE DETERMINED.
2. EXISTING CEILINGS TO BE REPAIRED IF SALVAGABLE, NEW CEILINGS WILL BE CONSTRUCTED WITH GYPSUM WALL BOARD AND METAL STUDS, FINISHES TO BE DETERMINED.
3. ALL NEW PARTITIONS TO BE CONSTRUCTED WITH GYPSUM WALL BOARD AND METAL STUDS UNLESS OTHERWISE NOTED.



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

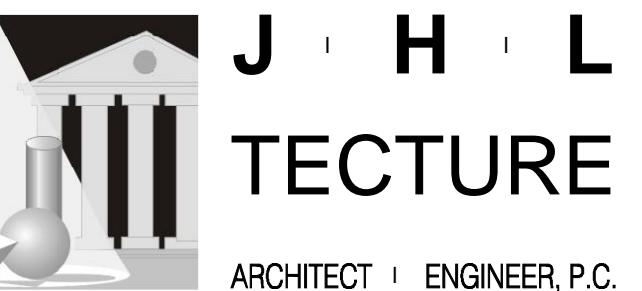
GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
2. Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
3. The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
4. Large scale plans of details shall take precedence over smaller scale drawings.
5. All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
6. All work to be performed and inspected as required by the local governing code enforcement office.
7. All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2013
JHL TECTURE P.C.

DRAWING ALTERATION
IT IS A VIOLATION OF LAW TO COPY OR ALTER A DRAWING, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
ANY LITERATURE THAT TESTIMONIALS THIS DRAWING AS ALTERED BY LAW
TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY LAW
FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION
OF THE ALTERATIONS.

6		
5		
4		
3		
2		
1		
#	REVISION DESCRIPTION	DATE BY



190 High Street • Bristol RI 02809
401.396.9630 • Fax 401.410.0079
www.jhlecture.com

IN ASSOCIATION WITH
GREG SPIESS AIA
ARCHITECTURE & URBAN DESIGN
21 PRESTON DRIVE
BARRINGTON, RI 02806
PHONE: 401.263.3887
spiessarch@msn.com

PRELIMINARY

NOT APPROVED
THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

PROPOSED RENOVATION TO: ARNOLD BUILDING WASHINGTON STREET

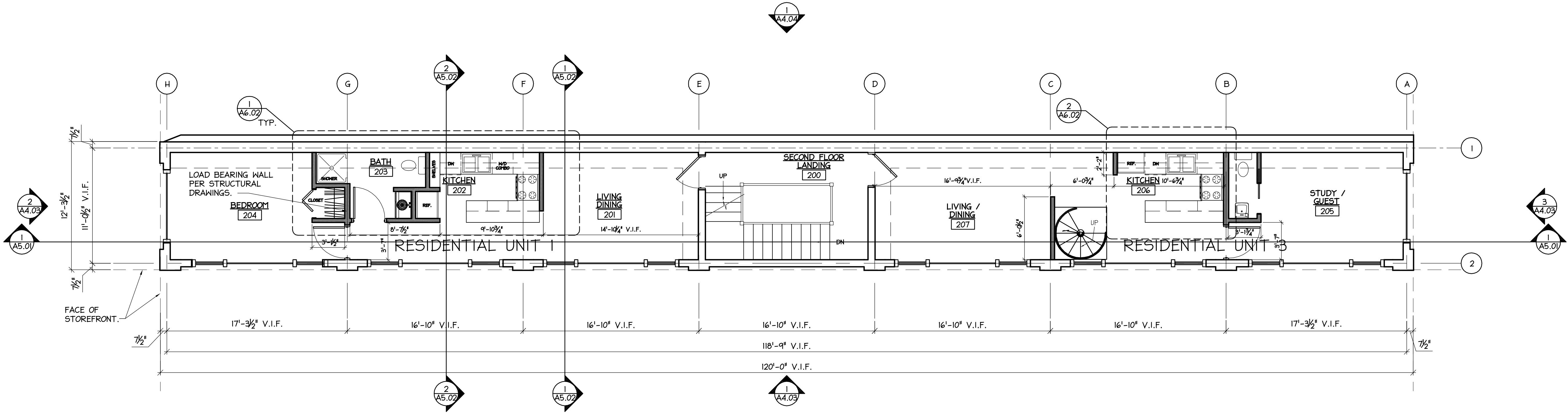
94-100 WASHINGTON STREET
PROVIDENCE, RHODE ISLAND 02903

DRAWING NAME:

BASEMENT AND FIRST FLOOR PLANS

DATE: 01-24-14 SCALE: AS NOTED DRAWN BY: JJC PROJECT NUMBER: 7269	DRAWING NUMBER: A2.01
---	--------------------------

ting Parameters
ted By: Quentin
File: E:\Projects\7269-Arnold Building\PlotShots\A2-02.dwg
ted: Feb 09, 2014 - 1:27pm



1 SECOND FLOOR PLAN
A2.02 SCALE: 3/16" = 1'-0"

<divA2.02 SCALE: 3/16" = 1'-0"

SECOND & THIRD FLOOR PLAN GENERAL NOTES

SECOND & THIRD FLOOR PLAN

GENERAL NOTES

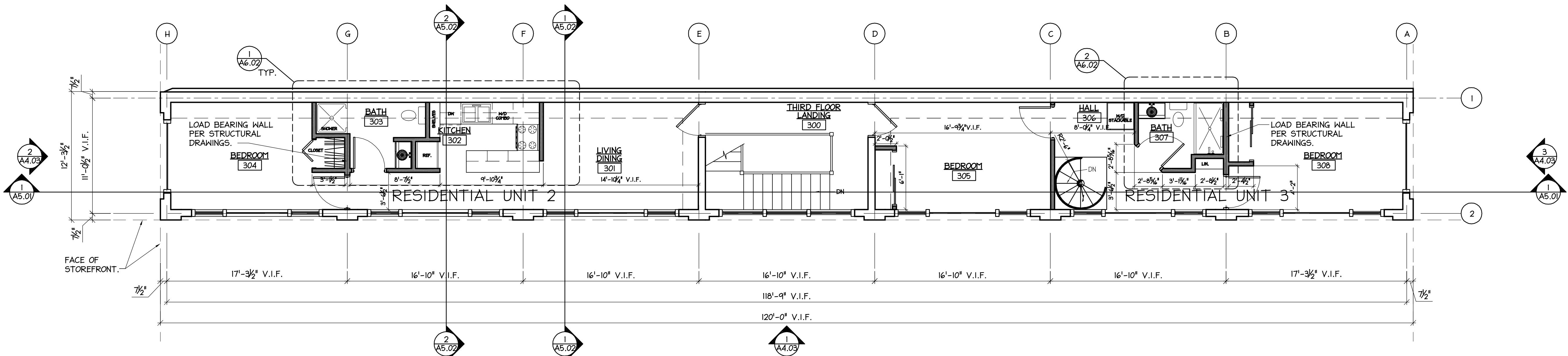
SYMBOLS

ITEM ABOVE OR BELOW

EXISTING WALL TO REMAIN

GWB & STUD PARTITION

1. ALL EXISTING PLASTER WALLS AND EXPOSED CONCRETE TO REMAIN, REPAIR AS NECESSARY TO RECEIVE NEW FINISH. FINISHES TO BE DETERMINED.
2. EXISTING CEILINGS TO BE REPAIRED IF SALVAGABLE. NEW CEILINGS WILL BE CONSTRUCTED WITH GYPSUM WALL BOARD AND METAL STUDS, FINISHES TO BE DETERMINED.
3. ALL NEW PARTITIONS TO BE CONSTRUCTED WITH GYPSUM WALL BOARD AND METAL STUDS UNLESS OTHERWISE NOTED.
4. ALL EXISTING WOOD FLOORS TO REMAIN, REPAIR AS NECESSARY TO RECEIVE NEW FINISH. FINISH TO BE DETERMINED.



2 THIRD FLOOR PLAN
A2.02 SCALE: 3/16" = 1'-0"

A2.02 SCALE: 3/16" = 1'-0"

GENERAL NOTES:

DO NOT SCALE DRAWINGS. Notify Architect if
tional dimensioning is required.

Contractor shall verify all dimensions in the field
notify Architect of any discrepancies

The Contractor shall provide all materials
cated, graphically, as annotated or as needed for
complete and proper installation, and shall notify
hitect of any discrepancies in identification of the
aterials required.

Large scale plans of details shall take precedence
r smaller scale drawings.

All work shall be in conformance with the
erall, State and Local Building Codes and other
erning bodies.

All work to be performed and inspected as
quired by the local governing code enforcement
ce.

All work is to be installed in accordance with
nufacturer's recommendations and specifications.

COPYRIGHT © 2013
JHL TECTURE P.C.

DRAWING ALTERATION

IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING
UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL
ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO
ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW
AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY"
OWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION
OF THE ALTERATIONS.



190 High Street | Bristol RI 02809
401.396.9630 | Fax 401.410.0079
www.ibecture.com

IN ASSOCIATION WITH
GREG SPIESS AIA
ARCHITECTURE & URBAN DESIGN
21 PRESTON DRIVE
BARRINGTON, RI 02806
PHONE: 401.263.3887
spiessarch@msn.com

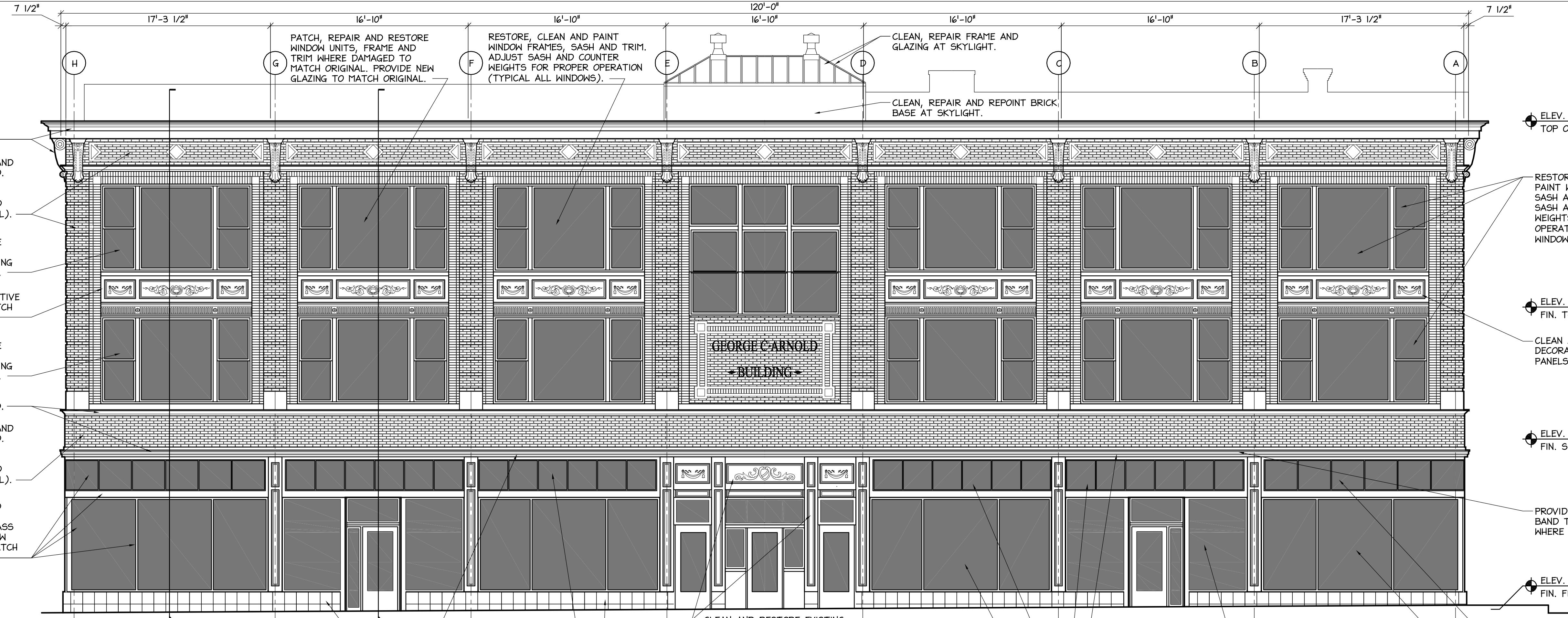
PROPOSED RENOVATION TO: ARNOLD BUILDING WASHINGTON STREET

94 - 100 WASHINGTON STREET
PROVIDENCE, RHODE ISLAND 02903

DRAWING NAME:

SECOND AND THIRD FLOOR PLANS

DATE: 01-24-14 SCALE: AS NOTED DRAWN BY: QJC PROJECT NUMBER:	DRAWING NUMBER: A2.02
7269	



A5.02 TYPICAL

1

2

A5.02 TYPICAL

PROPOSED ELEVATION

SCALE: 3/16" = 1'-0"

GENERAL NOTE

- ALL CLEANING, REPAIRS AND RESTORATION WORK IS TO BE IN CONFORMANCE WITH THE REQUIREMENTS, RECOMMENDATIONS AND STANDARDS OF THE U.S. DEPARTMENT OF INTERIOR STANDARDS FOR HISTORIC PRESERVATION.

CLEAN, REPAIR FRAME AND GLAZING AT SKYLIGHT.
CLEAN, REPAIR AND REPOINT BRICK BASE AT SKYLIGHT.
FINISH AND REPAIR BRICK EDGE AND PARKING LOT WALL.

ELEV. 141'-11 1/2"

TOP OF BUILDING

CLEAN AND RESTORE EXISTING DECORATIVE METAL PANEL, PROVIDE NEW MATCHING PANELS WHERE MISSING.

ELEV. 125'-11 1/2"

FIN. THIRD FLOOR

CLEAN AND RESTORE DECORATIVE METAL PANELS (TYPICAL).

ELEV. 114'-7 1/2"

FIN. SECOND FLOOR

CLEAN AND RESTORE EXISTING METAL BAND.

ELEV. 100'-0"

FIN. FIRST FLOOR

3/8" PORCELAIN TILE ON THIN SET MORTAR, DARK GREEN SERPENTINE MARBLE OR SIMILAR

PROPOSED ELEVATION

A4.03

SCALE: 3/16" = 1'-0"

PROPOSED ELEVATION

SCALE: 3/16" = 1'-0"

GENERAL NOTE

- ALL CLEANING, REPAIRS AND RESTORATION WORK IS TO BE IN CONFORMANCE WITH THE REQUIREMENTS, RECOMMENDATIONS AND STANDARDS OF THE U.S. DEPARTMENT OF INTERIOR STANDARDS FOR HISTORIC PRESERVATION.

CLEAN, REPAIR FRAME AND GLAZING AT SKYLIGHT.
CLEAN, REPAIR AND REPOINT BRICK BASE AT SKYLIGHT.
CLEAN AND RESTORE METAL CORNICE AND BRACKETS.

CLEAN FACE BRICKS AND REPOINT AS REQUIRED. MORTAR TO MATCH ORIGINAL IN COLOR, TEXTURE, DETAIL AND COMPOSITION (TYPICAL).
PROVIDE NEW WINDOW WINDOW UNITS, FRAME AND TRIM TO MATCH EXISTING WHERE MISSING DUE TO FIRE DAMAGE.

ELEV. 141'-11 1/2"

TOP OF BUILDING

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

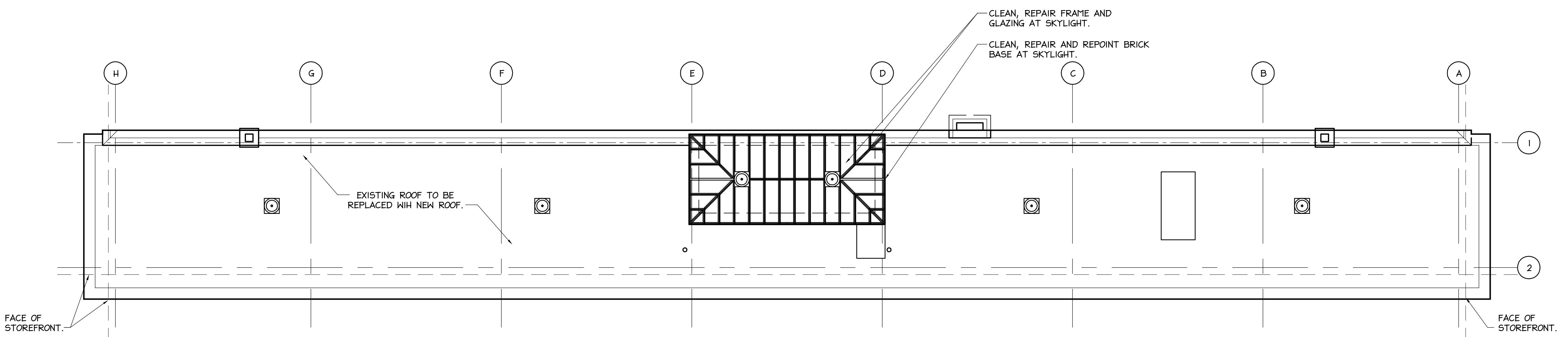
11'-0 1/2"

7 1/2"

11'-0 1/2"

7 1/2"

11'-0 1/2"

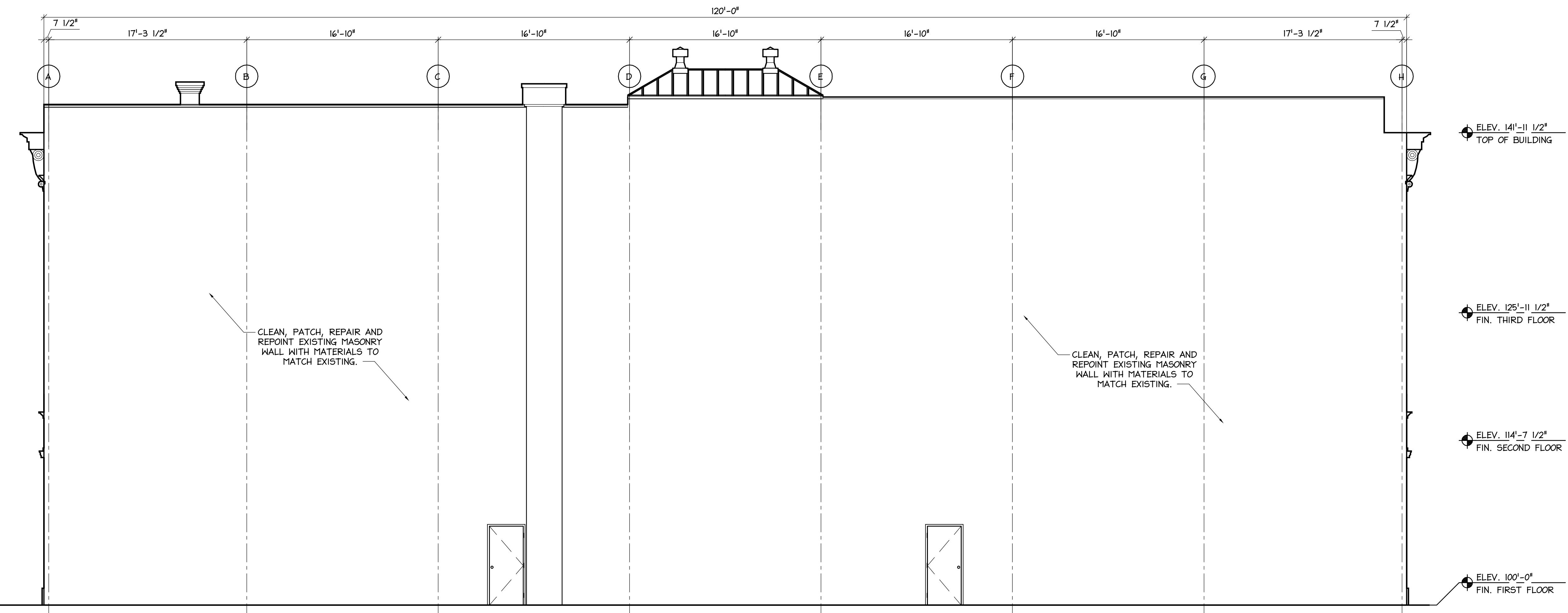


2
A4.04 **ROOF PLAN**
SCALE: 3/16" = 1'-0"

A4.04 SCALE: 3/16" = 1'-0"

GENERAL NOTE

- I. ALL CLEANING, REPAIRS AND RESTORATION WORK IS TO BE IN CONFORMANCE WITH THE REQUIREMENTS, RECOMMENDATIONS AND STANDARDS OF THE U.S. DEPARTMENT OF INTERIOR STANDARDS FOR HISTORIC PRESERVATION.



PROPOSED ELEVATION

A4.04 SCALE: 3/16" = 1'-0"

GENERAL NOTES:

DO NOT SCALE DRAWINGS. Notify Architect if
dimensioning is required.

Contractor shall verify all dimensions in the field
and notify Architect of any discrepancies.

The Contractor shall provide all materials
specified, graphically, as annotated or as needed for
complete and proper installation, and shall notify
Architect of any discrepancies in identification of the
materials required.

Large scale plans of details shall take precedence
over smaller scale drawings.

All work shall be in conformance with the
General, State and Local Building Codes and other
pertaining bodies.

All work to be performed and inspected as
required by the local governing code enforcement
agency.

All work is to be installed in accordance with
manufacturer's recommendations and specifications.

**COPYRIGHT © 2013
JHL TECTURE P.C.
DRAWING ALTERATION**
IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING
PER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL
ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO
ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW
AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY"
OWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION
OF THE ALTERATIONS.



190 High Street | Bristol RI 02809
401.396.9630 | Fax 401.410.0079

www.jhtecture.com

IN ASSOCIATION WITH
GREG SPIESS AIA
ARCHITECTURE & URBAN DESIGN
21 PRESTON DRIVE
BARRINGTON, RI 02806
PHONE: 401.263.3887
spiessarch@msn.com

PRELIMINARY
NOT APPROVED

THIS PLAN HAS NOT RECEIVED FINAL
APPROVAL OF ALL REVIEWING AGENCIES. THIS
PLAN IS FOR PROBABLE COST OF
CONSTRUCTION ONLY AND IS SUBJECT TO
REVISIONS UNTIL ALL APPROVALS ARE
OBTAINED AND SHOULD NOT BE USED FOR
CONSTRUCTION PURPOSES.

PROPOSED RENOVATION TO: ARNOLD BUILDING WASHINGTON STREET

94 - 100 WASHINGTON STREET
PROVIDENCE, RHODE ISLAND 02903

DRAWING NAME:

**PROPOSED
ROOF PLAN AND
ELEVATION**

DATE: 04-04-14	DRAWING NUMBER:
SCALE: AS NOTED	
DRAWN BY: QJC	
PROJECT NUMBER:	
7269	