

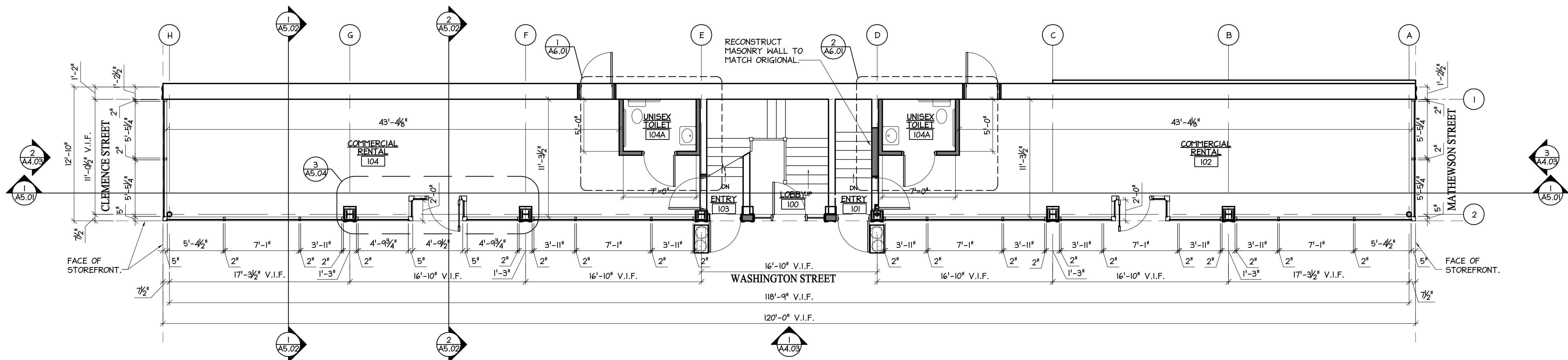
**BASEMENT PLAN**  
SCALE: 3/16" = 1'-0"

### BASEMENT & FIRST FLOOR PLAN GENERAL NOTES

#### SYMBOLS

- ITEM ABOVE OR BELOW
- EXISTING WALL TO REMAIN
- GWB & STUD PARTITION

- ALL EXISTING PLASTER WALLS AND EXPOSED CONCRETE TO REMAIN, REPAIR AS NECESSARY TO RECEIVE NEW FINISH. FINISHES TO BE DETERMINED.
- EXISTING CEILINGS TO BE REPAIRED IF SALVAGABLE. NEW CEILINGS WILL BE CONSTRUCTED WITH GYPSUM WALL BOARD AND METAL STUDS, FINISHES TO BE DETERMINED.
- ALL NEW PARTITIONS TO BE CONSTRUCTED WITH GYPSUM WALL BOARD AND METAL STUDS UNLESS OTHERWISE NOTED.



**FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
  - Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
  - The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
  - Large scale plans of details shall take precedence over smaller scale drawings.
  - All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
  - All work to be performed and inspected as required by the local governing code enforcement office.
  - All work is to be installed in accordance with manufacturer's recommendations and specifications.

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**PRELIMINARY**  
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DRAWING NAME:

**BASEMENT AND  
FIRST FLOOR PLANS**

DATE: 01-24-14  
SCALE: AS NOTED  
DRAWN BY: JQC  
PROJECT NUMBER:  
**7269**

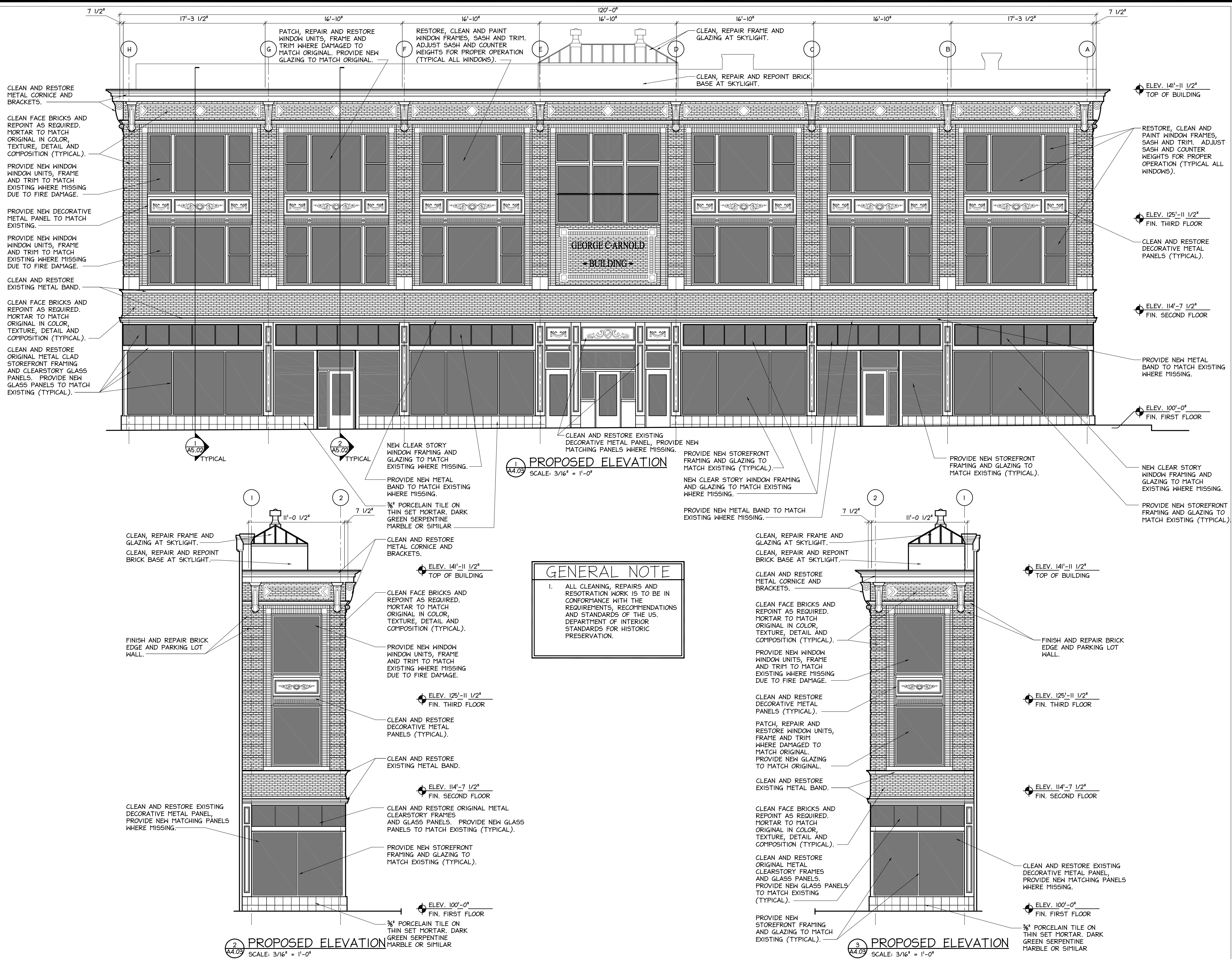
DRAWING NUMBER:  
**A2.01**



1. ALL EXISTING PLASTER WALLS AND EXPOSED CONCRETE TO REMAIN, REPAIR AS NECESSARY TO RECEIVE NEW FINISH. FINISHES TO BE DETERMINED.
2. EXISTING CEILINGS TO BE REPAIRED IF SALVAGEABLE. NEW CEILINGS WILL BE CONSTRUCTED WITH GYPSUM WALL BOARD AND METAL STUDS, FINISHES TO BE DETERMINED.
3. ALL NEW PARTITIONS TO BE CONSTRUCTED WITH GYPSUM WALL BOARD AND METAL STUDS UNLESS OTHERWISE NOTED.
4. ALL EXISTING WOOD FLOORS TO REMAIN, REPAIR AS NECESSARY TO RECEIVE NEW FINISH. FINISH TO BE DETERMINED.







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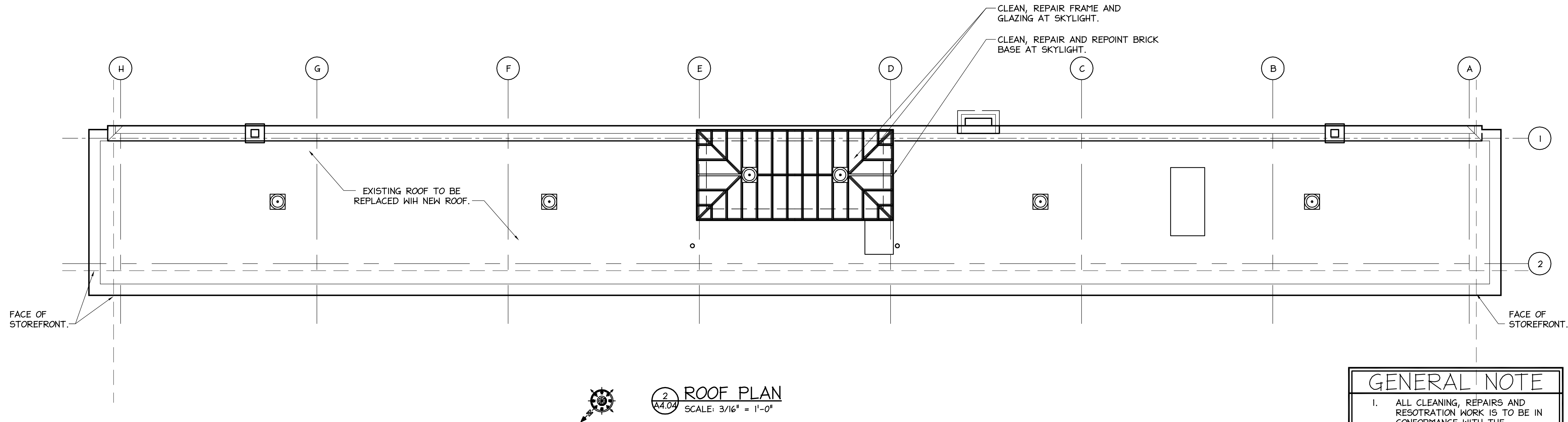
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DRAWING NAME:  
**PROPOSED ELEVATIONS**

DATE: 04-04-14  
SCALE: AS NOTED  
DRAWN BY: JQC  
PROJECT NUMBER:  
**7269**

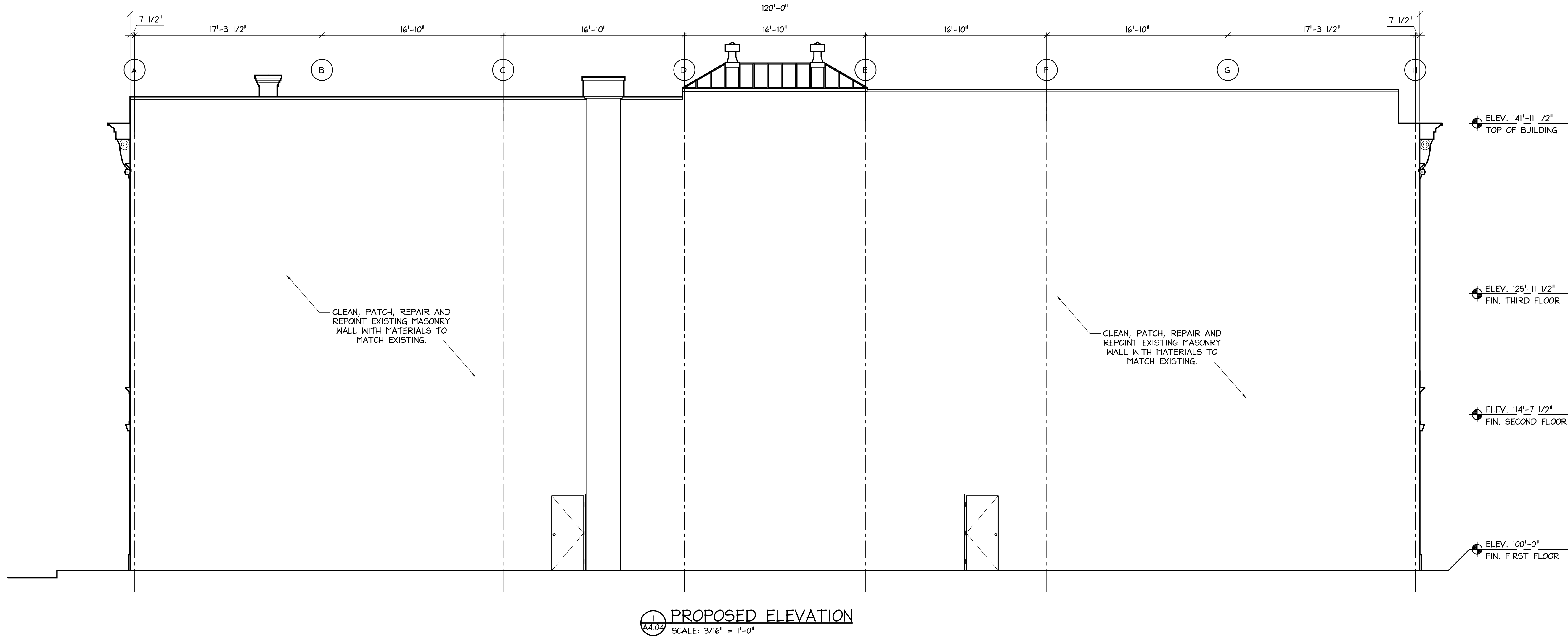
DRAWING NUMBER:  
**A4.03**





**GENERAL NOTE**

1. ALL CLEANING, REPAIRS AND RESOTRATION WORK IS TO BE IN CONFORMANCE WITH THE REQUIREMENTS, RECOMMENDATIONS AND STANDARDS OF THE U.S. DEPARTMENT OF INTERIOR STANDARDS FOR HISTORIC PRESERVATION.



- GENERAL NOTES:**
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  3. The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
  4. Large scale plans of details shall take precedence over smaller scale drawings.
  5. All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
  6. All work to be performed and inspected as required by the local governing code enforcement office.
  7. All work is to be installed in accordance with manufacturer's recommendations and specifications.

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DRAWING NAME:  
**PROPOSED  
ROOF PLAN AND  
ELEVATION**

DATE: 04-04-14  
SCALE: AS NOTED  
DRAWN BY: JQC  
PROJECT NUMBER:  
**7269**

DRAWING NUMBER:  
**A4.04**